

City of Austin
Local Historic District Tax Abatement
Part I - Application for Certificate of Eligibility

PART I - APPLICATION CHECK LIST:

- Completed Application for Certificate of Eligibility signed by owner.
- Estimate of costs for eligible work.
- Completed Certificate of Appropriateness Application signed by owner.
- Proof of pre-rehabilitation value from the Travis County Appraisal District.
- Signed authorization for City Officials to inspect the property, and affidavit stating all property taxes are current and no city fees, fines, or penalties are owed on property owned by a business association in which the applicant has an ownership interest.
- Current tax certificate providing proof no property taxes or City fees, fines, or penalties are delinquent on the property.

N/A Proforma and development budget, if an estimated abatement is over \$100,000.

N/A Letter of intent from a financial institution or potential investors, if applicable.

TAX CERTIFICATE
Bruce Elfant
Travis County Tax Assessor-Collector
P.O. Box 1748
Austin, Texas 78767
(512) 854-9473

NO 2268156

ACCOUNT NUMBER: 01-0901-0423-0000

PROPERTY OWNER:

DIXON JOHN & CHRISTINA
110 SAN ANTONIO ST #30110
AUSTIN, TX 78701-4661

PROPERTY DESCRIPTION:

LOT 19 BLK A OLT 2 DIV Z RAYMOND S
UBD

ACRES .1959 MIN% .000000000000 TYPE

SITUS INFORMATION: 1112 W 7 ST

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY	TOTAL
2018	AUSTIN ISD	11,097.19
	CITY OF AUSTIN (TRAV)	4,099.07
	TRAVIS COUNTY	3,297.50
	TRAVIS CENTRAL HEALTH ACC (TRAVIS)	979.58 975.66
TOTAL SEQUENCE 0		20,449.00
TOTAL TAX:		20,449.00
UNPAID FEES:		* NONE *
INTEREST ON FEES:		* NONE *
COMMISSION:		* NONE *
TOTAL DUE ==>		20,449.00

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2018 EXCEPT FOR UNPAID YEARS LISTED ABOVE.

The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).

Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 10/05/2018

Fee Paid: \$10.00

Bruce Elfant
Tax Assessor-Collector

By: 

**City of Austin
Local Historic District Tax Abatement
Part I - Application for Certificate of Eligibility**

Address of property: 1112 West 7th Street

Name of Local Historic District: Castle Hill - Old West Austin

Contributing property Non-contributing property

Legal Description of Property: Lot 19 BKA Old 2 Raymond Subd

Tax Parcel ID Number: 106945

APPLICANT/PROJECT CONTACT:

Name: JOHN DIXON Telephone: (512) 669 0845

Mailing Address: 110 SAN ANTONIO ST, APT 3010 Mobile phone: () _____

City: AUSTIN State: TX Zip: 78701 Email: DIXONJOHNPAUL@HOTMAIL.COM

OWNER:

Name: JOHN DIXON Telephone: (512) 669 0845

Mailing Address: SAME AS ABOVE Mobile phone: () _____

City: _____ State: _____ Zip: _____ Email: _____

Proposed Use of the Property: RESIDENTIAL

Proposed Scope of Work:

DEMO OF ADDITION IN BACK OF PROPERTY, REMODEL OF 1ST FLOOR;
ADDITION OF 2 NEW STORIES @ BACK; ATTIC CONVERSION TO
CONDITIONED SPACE; RELOCATE WOOD SHED FOR CAR PORT;
ADDITION OF BASEMENT.

Projected Construction Schedule: NOV '18 - MAY '20

Has the property received any other property tax relief under § 11.24 of the Texas Tax Code?:

NO

Describe all City Code violations, if any, on the property within the previous five years:

NONE

For Historic Preservation Office use only:	
<input type="checkbox"/> Property is not a contributing or potentially contributing structure	
<input type="checkbox"/> Certificate of Eligibility approved by Historic Landmark Commission	
<input type="checkbox"/> Certificate of Eligibility <u>not</u> approved by Historic Landmark Commission	
_____ Historic Preservation Officer	_____ Date

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ESTIMATE OF EXPENDITURES

Property Address:	
Proposed Scope of Work	Estimated Cost
ARCHITECTURE / ENGINEERING	\$80,000
DIRECT CONSTRUCTION COSTS [PERMITS, PREPARE]	\$60,000
SITE WORK [RETAINING WALLS, FENCES ETC]	\$38,000
DEMOLITION	\$18,000
FOUNDATION	\$108,000
GENERAL CONSTRUCTION [TRIM, STAIRS, PORCH]	\$130,000
CONSTRUCTION MATERIALS [MILLWORK, STAIRS]	\$122,000
PLUMBING	\$48,000
ELECTRICAL	\$39,000
HVAC	\$14,000
WATERPROOFING	\$16,000
WALL TREATMENTS	\$21,000
FLOORING	\$22,000
COUNTERTOPS + TILING	\$30,000
PAINTING + OTHER	\$54,000
Total:	\$800,000
Pre-rehabilitation/restoration value of property:	\$930,972
% of value being spent on rehabilitation/restoration:	86%
% of total estimated costs being spent on exterior work:	27%

Attach additional pages if needed.

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THE STATE OF TEXAS §
COUNTY OF TRAVIS §

STATEMENT OF UNDERSTANDING, AUTHORIZATION FOR INSPECTION OF PROPERTY,
AND AFFIDAVIT REGARDING TAXES, FEES, FINES AND PENALTIES

Property Address: 1112 WEST 7th STREET, AUSTIN, TX 78703
Owner's Name: JOHN DIXON

I am over 18 years of age and am competent to sign this Affidavit.
I am the owner of the property identified above.
I am seeking a tax abatement for the property identified above.

I certify that the information in the application for a tax abatement, including all supporting documentation, is complete and correct.

I authorize city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax abatement.

I acknowledge that I have read and understand the program requirements, and that I will not receive an abatement until all program requirements have been met and I have obtained a certificate of verification from the City of Austin.

I understand that all rehabilitation work must be completed within 2 years after the date of the issuance of a Certificate of Eligibility and Certificate of Appropriateness. If the deadline for completion is subsequently extended by the Historic Landmark Commission all rehabilitation work must be completed by the extended time specified. I understand that penalties may apply if I do not complete the work as proposed and approved by the Historic Landmark Commission.

I affirm that improvements will comply with the historic area combining district Preservation Plan and Design Standards.

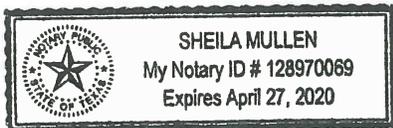
I understand that I must make an application to Travis County Appraisal District each year in order to receive the abatement for that year, and that if I do not make the application in time, I will lose the ability to receive a tax abatement for that year.

All property taxes are current, and no City of Austin fees, fines or penalties are owed, on the property or any property owned by a business association in which I have an ownership interest.

Signature *John Dixon* 10/3/18
Owner/Applicant Date

I declare under penalty of perjury that the statements above are true and correct.

Subscribed and sworn to before me, by the said John Dixon, this
the 3rd day of October, 2018, to certify which witness my hand and seal of office.



Sheila Mullen
Notary Public, State of Texas
My commission expires 4/27/20



CITY OF AUSTIN
Development
 SERVICES DEPARTMENT

Residential Review – One Texas Center
 505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

**Residential New Construction
 and Addition Permit Application**

To complete this form electronically: Open with Internet Explorer, then [Click Here to Save and continue.](#)

Property Information

Project Address: 1112 W. 7th	Tax Parcel ID: 106945
Legal Description: Lot 19 BKA OLT 2 Div 2 Raymond Subd	
Zoning District: SF3	Lot Area (sq ft): 8532
Neighborhood Plan Area (if applicable): OLD WEST AUSTIN	Historic District (if applicable): Old West Austin

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="radio"/> N	Does project have a Green Building requirement? Y <input checked="" type="radio"/> N
(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	(If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input checked="" type="radio"/> N	Does this site have a septic system? Y <input checked="" type="radio"/> N
(If yes, approval through Aviation is required)	(If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input checked="" type="radio"/> N	(If yes, Fire review is required)
Is this property within 200 feet of a hazardous pipeline? Y <input checked="" type="radio"/> N	(If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input checked="" type="radio"/> N	Is this property within 150 feet of the 100 year floodplain? Y <input checked="" type="radio"/> N
(If yes, EHZ review is required)	(Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? Y <input checked="" type="radio"/> N	(If yes, click here for more information on the tree permit process.)
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input checked="" type="radio"/> Y <input type="radio"/> N	
Does this site currently have: water availability? <input checked="" type="radio"/> Y <input type="radio"/> N	(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)
wastewater availability? <input checked="" type="radio"/> Y <input type="radio"/> N	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input checked="" type="radio"/> N	
(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input checked="" type="radio"/> N	(If yes, submit approved auxiliary and potable plumbing plans.)
(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? <input checked="" type="radio"/> Y <input type="radio"/> N (If yes, contact the Development Assistance Center for more information)	
Is this site within the Waterfront Overlay? Y <input checked="" type="radio"/> N	Is this site within the Lake Austin Overlay? Y <input checked="" type="radio"/> N
(LDC 25-2 Subchapter C Article 3)	(LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input checked="" type="radio"/> Y <input type="radio"/> N	Is this site adjacent to a paved alley? <input checked="" type="radio"/> Y <input type="radio"/> N
(If no, contact Development Assistance Center for Site Plan requirements.)	(Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="radio"/> N	Case # _____ (if applicable)
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="radio"/> N	
(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y <input checked="" type="radio"/> N	(If yes, construction material recycling is required per LDC 25-11-39)
Existing Use: vacant <input checked="" type="radio"/> single-family residential	duplex residential two-family residential other: _____
Proposed Use: vacant <input checked="" type="radio"/> single-family residential	duplex residential two-family residential other: _____
Project Type: new construction addition <input checked="" type="radio"/> addition/remodel	other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input checked="" type="radio"/> Y <input type="radio"/> N <i>Demo App Attached</i>	
(Note: Removal of all or part of a structure requires a demolition permit application.)	
# existing bedrooms: 3	# bedrooms upon completion: 5
# baths existing: 1	# baths upon completion: 4 1/2
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)	
<i>Demo of addition at back; remodel of entire first floor; addition of new two stores @ back; attic conversion to conditioned space; relocate wood shed for new carport</i>	
Trades Permits Required (Circle as applicable): <input checked="" type="radio"/> electric <input checked="" type="radio"/> plumbing <input checked="" type="radio"/> mechanical (HVAC) <input checked="" type="radio"/> concrete (R.O.W.)	

Job Valuation		
Total Job Valuation: \$ <u>800,000.00</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>200,000.00</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ <u>480,000</u> Elec: \$ <u>45,000</u> Plmbg: \$ <u>45,000</u> Mech: \$ <u>30,000</u> TOTAL: \$ <u>600,000.00</u>
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ <u>200,000</u>	
	Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
	Amount for Accessory Structure: \$ _____	
	Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1504		343		1847	0.00
b) 2 nd Floor conditioned area	0		1548		1548	0.00
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement	0		1517		1517	0.00
e) Covered parking (garage or carport)	0		258		258	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	422		150		572	0.00
g) Other covered or roofed area	683		-683		0.00	0.00
h) Uncovered wood decks	152.5		-152.5		0.00	0.00
Total Building Area (total a through h)	0.00	0.00	0.00	0.00	0.00	0.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	1602					

Building Coverage Information
 Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Total Building Coverage (sq ft): 2646 % of lot size: 30%

Impervious Cover Information
 Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)

Total Impervious Cover (sq ft): 3649 % of lot size: 41.7%

Setbacks
 Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y N
 Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y N
 Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	Parking (LDC 25-6 Appendix A & 25-6-478)
Building Height: <u>32</u> ft <u>6 1/2</u> in Number of Floors: <u>1 1/2</u>	# of spaces required: <u>2</u> # of spaces provided: <u>2</u>

Right-of-Way Information
 Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y N
 *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50% or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y N

Width of approach (measured at property line): 18 ft Distance from intersection (for corner lots only): NA ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y N
 (If yes, drainage review is required)

Subchapter F

Gross Floor Area
 This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1504	343			1847 0.00
2 nd Floor	0	1548			1548 0.00
3 rd Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)		541	<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	541	0.00
Basement		1517	Must follow article 3.3.3B, see note below	1517	0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached	258	<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 1)	258	0.00
Accessory Building(s) (detached)	547	-547			0.00
Totals	2051 0.00	3660 0.00			3395 0.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) ~~0.00~~ 3395

(Total Gross Floor Area ÷ Lot Area) x 100 = 38.8% Floor-To-Area Ratio (FAR) Article 2, 2.6 E, 2.1

Is a sidewall articulation required for this project? Y N
 (Yes, if a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1) see 3 on page A.7 overhang on west side.

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y N
 (If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

Contact Information			
Owner	Dixon, John & Christina	Applicant/Agent	LONANNE MAGNUSON
Mailing Address	110 San Antonio St. # 30110	Mailing Address	1106 W. Koenig Ln
Phone	Austin TX 78756 512-469-0445	Phone	512-947-6226
Email	dixonjohnpaul@hotmail.com	Email	LONANNE@gmail.com
General Contractor	WoodEye Construction	Design Professional	WoodEye
Mailing Address	1106 W. Koenig Ln	Mailing Address	1106 W. Koenig Ln
Phone	Austin TX 78756	Phone	Aust TX 78756
Email	Garland@WoodEyeConstruction.com	Email	Garland@woodeyeconstruction.com
Authorization			
<input checked="" type="checkbox"/> I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.			
<input checked="" type="checkbox"/> I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.			
<input checked="" type="checkbox"/> I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction. Water services, meters, and wastewater cleanouts are not permitted within or beneath driveways or sidewalks. Private plumbing appurtenances will not be located in public right-of-way or public easements. Private plumbing lines will not cross lot lines.			
<input checked="" type="checkbox"/> I agree that this application is good for twelve (12) months after the date it is filed, and will expire if not approved for compliance within that time frame. If the application expires, a new submittal will be required and compliance with current code may be required.			
<input checked="" type="checkbox"/> I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.			
<input checked="" type="checkbox"/> I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.			
<input checked="" type="checkbox"/> I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov . This initiates the tree permitting requirement needed to proceed with the development review process.			
<input checked="" type="checkbox"/> I also understand that if there is a septic system located on the property, I am required to complete an On-site Sewage Facility (a.k.a. an OSSF or septic system) application by contacting Austin Water at (512) 972-0050 or ossf@austintexas.gov . This initiates the septic system permitting requirement needed to proceed with the development review process.			
<input checked="" type="checkbox"/> Erosion and Sedimentation Controls are required per Section 25-8-181 of the LDC. Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to \$2,000.00 per day.			
<input checked="" type="checkbox"/> I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.			
<input checked="" type="checkbox"/> I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.			
<input checked="" type="checkbox"/> I am the record owner of this property and authorize the agent/applicant listed above to apply for and acquire a permit on my behalf.			
Owner's signature:	<u>Signature on file</u>	Date:	<u>7/24/18</u>
Applicant's signature:	<u>Lonanne Magnuson</u>	Date:	<u>7/24/18</u>
Design Professional's signature:	<u>Garland</u>	Date:	<u>7/24/18</u>
General Contractor's signature:	<u>Garland</u>	Date:	<u>7/24/18</u>

Additional Information, Continued

Calculation Aid				
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft	
a) 1 st floor conditioned area	1504	343	1847	0.00
b) 2 nd floor conditioned area	0	1548	1548	0.00
c) 3 rd floor conditioned area				0.00
d) Basement	0	1517	1517	-0.00
e) Attached Covered Parking (garage or carport)				0.00
f) Detached Covered Parking (garage or carport)	0	258	258	-0.00
g) Covered Wood Decks (counted at 100%)				0.00
h) Covered Patio				0.00
i) Covered Porch	422	119	541	-0.00
j) Balcony		31	31	-0.00
k) Other - Specify:	083	-083		0.00
Total Building Area (TBA) (add: a through k)	2609 0.00	3133 0.00	5742	0.00
Total Building Coverage (TBC) <small>(from TBA subtract, if applicable: b, c, d, and i)</small>	(A) 1504 0.00	0.00	(B) 2646	0.00
l) Driveway	0	382	382	0.00
m) Sidewalks	72	219	291	0.00
n) Uncovered Patio				0.00
o) Uncovered Wood Decks (counted at 50%)	152.5	152.5		0.00
p) AC pads and other concrete flatwork	0	36	36	0.00
q) Other (Pool Coping, Retaining Walls)	224	70	294	0.00
Total Site Impervious Coverage (add: TBC and l through q)	(C) 1952.5 0.00	0.00	(D) 3649	0.00
r) Pool		579	579	-0.00
s) Spa				0.00

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq ft): 8750

Existing Building Coverage (see above A, sq ft): 0.00 1504

Existing Coverage % of lot (A ÷ Lot Area) x 100 : 17.2 %

Final Building Coverage (see above B, sq ft): 0.00 2646

Final Coverage % of lot (B ÷ Lot Area) x 100 : 30 %

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above C, sq ft): 0.00 1952.5

Existing coverage % of lot (C ÷ Lot Area) x 100 : 22.3 %

Final Impervious Coverage (see above D, sq ft): 0.00 3649

Final coverage % of lot (D ÷ Lot Area) x 100 : 41.7 %



AUSTIN ENERGY

One Texas Center | 505 Barton Springs Road
Phone: (512) 974-2632, (512) 974-9112
Email: aebspaespa@austinenergy.com

Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only

For use in DAC only

Responsible Person for Service Request: LONANNE MATHIASON
Email: LONANNE@GMAIL.COM Fax: _____ Phone: 512 947 6226

Residential Commercial New Construction Remodeling

Project Address: 1112 W. 7th -OR-

Legal Description: _____ Lot: _____ Block: _____

Who is your electrical provider? AE Other: _____

Overhead Service Underground Service Single-Phase (1Ø) Three-Phase (3Ø)

Location of meter: SW on house

Number of existing meters on gutter: _____ (show all existing meters on riser diagram)

Expired permit #: _____

Comments: Building addition @ back of house + basement addition

AE APPROVED

205-529

JUL 24 2018

MCP

LONANNE MATHIASON 512 947 6226
BSPA Completed by (print name) Phone

[Signature] 7/24/18
BSPA Completed by (signature) Date

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)

SAVE Form

Office Use Only

_____	Approved <input type="checkbox"/> Yes <input type="checkbox"/> No	_____	_____
AE Representative		Date	Phone



Residential Review - One Texas Center | 505 Barton Springs Road, Austin, Texas 78704 | Phone: 512-978-4000

Water & Wastewater Service Plan Verification (WWWSPV) All fields are required

Service Address: 1112 W. 7th

Lot: 19 Block: A Subdivision: Raymond

Dwelling Units demolished? Y N New Dwelling Units to be built? Y N

Multiple Dwelling Units on same Lot? Y N Corner Lot? Y N

Land Status/Re-subdivision? Y N

Original Address: Single Fam Res Existing Use: Single Fam Res

Proposed Use: Single-Family Res. _____ sq. ft. Two-Family Res.
 Duplex Accessory Dwelling Unit (< 1,100 sq. ft.)
 Other: _____

Existing # Baths: 1 Additional # Baths: 3 1/2 Total # bathrooms the meter(s) will serve: 4 1/2
 First Meter: _____ Second Meter: _____

Water meters & wastewater clean-outs are not permitted in sidewalks or driveways

Relocation of services from proposed sidewalks or driveways shall be performed at the applicant's expense.

Signing this form verifies that the information provided is deemed accurate and complete based on available records. The customer is responsible to confirm the location and suitability of existing water and wastewater services. The customer may be responsible for costs associated to corrections due to invalid information provided.

LaFrance Culu 7/24/10 512 9476220
 Applicant Name & Signature Date Phone

City of Austin Office Use Only

Water main size: _____ Service stub size: 1 1/2" Service stub change required: Y N

Shared Service? Y N If Yes, meter #, size & address: _____

Existing meter #: 157359 Existing meter size: 5/8"

Existing water service line/meter location: left of center

Upgrade required: Y N New meter(s) size: 3/4"

Existing water or wastewater main located on the property: Y N

WW main size: _____ WW Service line/clean-out location: rear

Secondary address needed at property: Y N Utility Plan required: Y N

Instruction sheet provided to Customer: Y N Is the lot legally Platted? Y N

Comments: don't cover cleanout w/ new d.w.

AW Engineer [Signature]

AW Taps [Signature]

REVIEWED
Date _____ Phone _____

JUL 24 REC'D
Date **APPROVED JUL 24 2010** Phone _____
AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS



CITY OF AUSTIN
Development
 SERVICES DEPARTMENT

One Texas Center
 505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Demolition Permit Application

Application Type: Commercial Residential

Fee Paid: \$ _____ Submission Date: _____

For Office Use Only – Permit Information

BP- _____ PR- _____ LHD_NRD_HDP- _____ Ca. _____

Referred By: _____ NRHD/LHD: _____

Release Permit Do Not Release Permit HLC Review- _____

Historic Preservation Office

Date

IMPORTANT: Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after twelve (12) months from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.
DO NOT LET YOUR PERMIT EXPIRE!!!!

HISTORIC LANDMARKS AND DISTRICTS: If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office (see <http://www.austintexas.gov/department/historic-preservation>).

Submittal Requirements

- 1. Owner authorization/signature, **NOTARIZED** at the bottom of the next page of this application, **OR** a **NOTARIZED** letter of authorization from the owner giving the applicant permission to apply
- 2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
- 3. Certified tax certificate(s) from the Travis County Tax Assessor's Office (5501 Airport Boulevard, 512-854-9473)
- 4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street
- 5. Review Fee (see [fee schedule](#) for applicable fees)

Additional requirements for Commercial Demolitions:

- 6. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

Property Information

Address: 1112 W. 7th St.
 City: Austin TX Zip: 78703
 Current Use: Single Family Residence

Demolition Type

Total Partial – identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished:
demo existing back addition

Demolition Contractor Information

Company: Wood Eye Construction
 Address: 1106 W. Koenig
 City: Austin Zip: 78756
 Phone: 512 947 6224

Structural Information

Structures: 1 Square Feet: 212
 Building Materials: wood
 Foundation Type: pier + beam
 Estimated Cost of Demolition: \$6000.

Applicant	Owner
Name: <u>LONANNE MAGNUSON</u> Address: <u>1106 W. KOENIG</u> City: <u>Austin TX</u> Zip: <u>78756</u> Phone: <u>512 947 6226</u> Email: <u>LONANNE@GMAIL.COM</u>	Name: <u>John Dixon</u> Address: <u>110 San Antonio #30110</u> City: <u>Aust</u> Zip: <u>78701</u> Phone: <u>512-669-0845</u> Email: <u>dixonjohnpaul@hotmail.com</u>

If the structure was used for housing, please complete the following:

Total Number of Housing Units to be Demolished for this Permit: _____ NA

Was the structure inhabited within last 12 months? Yes No

Current Tenant Notification

How many currently occupied residential units will be demolished? _____ NA

If 5 or more, tenant notification may be required and a certified form may be required with your application (LDC 25-1-712).

Consent, Authorizations, and Signatures

I understand and will adhere to the following rules or regulations:

1. **No work may begin prior to issuance of this permit.**
2. It is important to verify with the Development Assistance Center (DAC) that new construction will be permitted on the property at this location PRIOR to filing this application.
3. If the structure to be demolished is currently tied into water and/or sewer services provided by the City of Austin, you must contact Austin Water Utility at 512-494-9400 to obtain specific water and sewer-service information.
4. **Erosion and Sedimentation Controls are required per Section 25-8-181 of the City of Austin Land Development Code.** Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to \$2,000.00 per day.
 - 4a. **Inspection of erosion, sedimentation controls, and tree protection shall be requested by the owner** before construction begins (25-1-288.A & 25-1-288.F): (512) 974-2278 or environmental.inspections@austintexas.gov.
5. **If the proposed work will require the removal of any tree protected by ordinance, impact the critical root zone, or prune more than 25% of tree canopy as defined by the Environmental Criteria Manual (3.5.2.A), a Tree Ordinance Review Application is required prior to any such activity.**
 Note: root zone protection measures (e.g. fencing, boards attached to the trunk, mulch) are required prior to work commencing. For information please email the City Arborist Program at cityarborist@austintexas.gov or visit the website at <http://www.austintexas.gov/department/city-arborist>.
6. If the proposed work will require use of City right-of-way, a Right of Way Application must be approved prior to any such activity. Applications may be obtained from the City of Austin Transportation Department (512-974-7180) or on the website at <https://austintexas.gov/rowman>.
7. **The Historic Preservation Office will review this application to determine if the structure that is subject of this application is potentially historic as defined by Section 25-11-214 of the City of Austin Land Development Code. Additional review by the Historic Landmark Commission may be required and additional fees may be assessed.**
8. Once this review is complete and approved, the permit may be obtained from the Permit Center and additional fees will be assessed at that time.

I, the undersigned, hereby swear or affirm that the information provided in this application is true and correct to the best of my knowledge and is an accurate reflection of my intentions for the above structure and/or property. I understand that any omission or incorrect information herein will render this application and any permit obtained invalid.

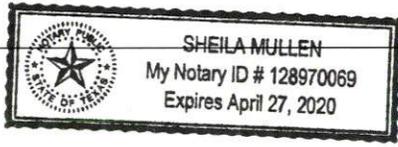
As owner(s) of the property described in this application, I/we hereby authorize the Applicant listed on this application to act on my/our behalf during the processing and presentation of this request. They shall be the principal contact with the City in processing this application.

Signature of Applicant (if different than owner): _____ Date: _____

Signature of Owner: [Handwritten Signature] Date: 7/24/2018

Sworn and subscribed before me this 24th day of July, 2018

Signature of Public Notary: [Handwritten Signature] My commission expires: 4/27/20
Notary Public in and for the State of Texas





demo small section of east wall to /
relocate existing window to there

demo at roof for new dormer



Demo screened porch, master bedroom area & bath



Demo existing window ; replace with salvaged window
from back of house

TAX CERTIFICATE
Bruce Elfant
Travis County Tax Assessor-Collector
P.O. Box 1748
Austin, Texas 78767
(512) 854-9473

NO 2265151

ACCOUNT NUMBER: 01-0901-0423-0000

PROPERTY OWNER:

DIXON JOHN & CHRISTINA
110 SAN ANTONIO ST # 30110
AUSTIN, TX 78701-4661

PROPERTY DESCRIPTION:

LOT 19 BLK A OLT 2 DIV Z RAYMOND S
UBD

ACRES

.1959 MIN%

.000000000000 TYPE

SITUS INFORMATION: 1112 W 7

ST

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY	TOTAL
2017	AUSTIN ISD	*ALL PAID*
	CITY OF AUSTIN (TRAV)	*ALL PAID*
	TRAVIS COUNTY	*ALL PAID*
	TRAVIS CENTRAL HEALTH	*ALL PAID*
	ACC (TRAVIS)	*ALL PAID*
TOTAL SEQUENCE 0		*ALL PAID*
TOTAL TAX:		*ALL PAID*
UNPAID FEES:		* NONE *
INTEREST ON FEES:		* NONE *
COMMISSION:		* NONE *
TOTAL DUE ==>		*ALL PAID*

TAXES PAID FOR YEAR 2017 \$15,001.70

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2017 EXCEPT FOR UNPAID YEARS LISTED ABOVE.

The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).

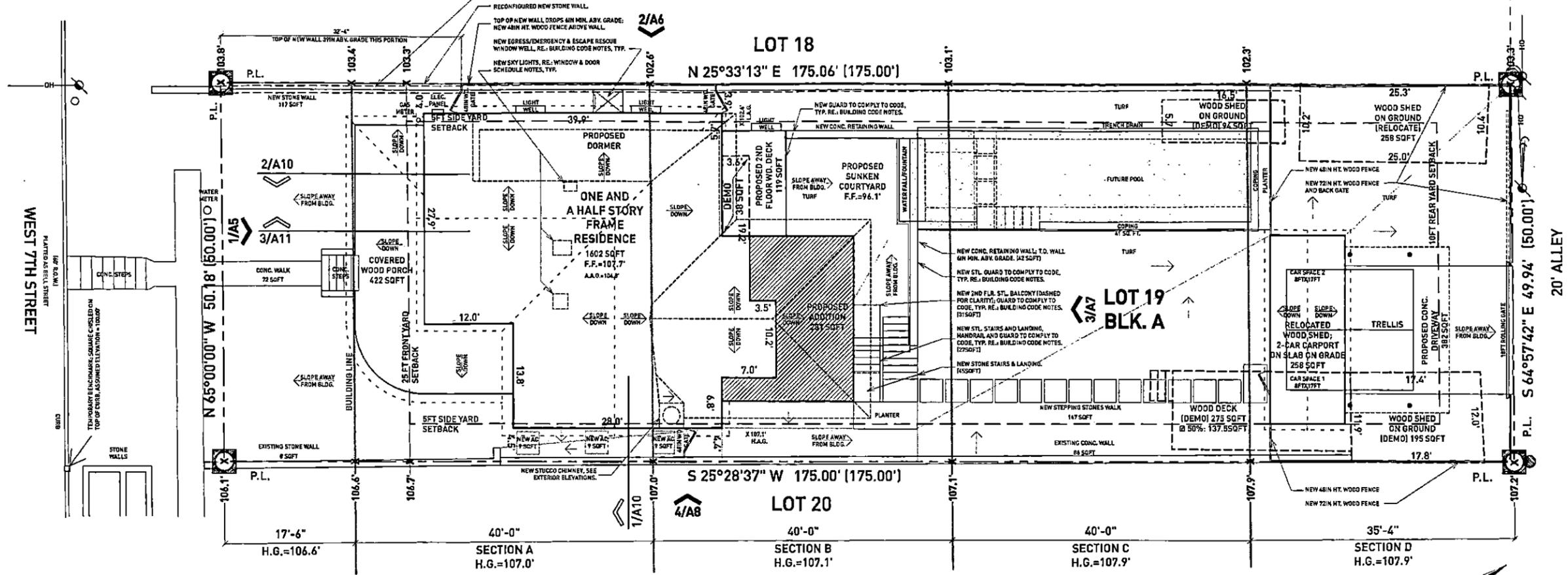
Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 04/17/2018

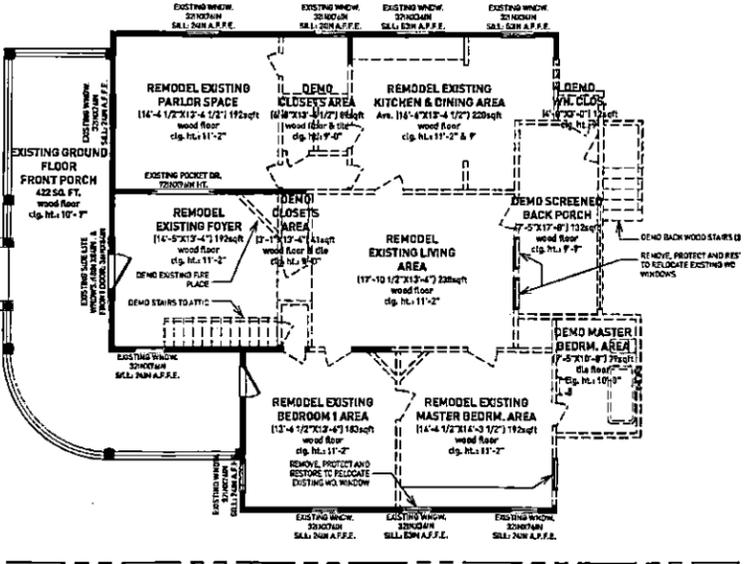
Fee Paid: \$10.00

Bruce Elfant
Tax Assessor-Collector

By: 



1 SITE/ROOF PLAN
SCALE 1/16"=1'-0"



2 DEMOLITION PLAN
SCALE 1/16"=1'-0"

BUILDING CODE NOTES

MEANS OF EGRESS:
PROVIDE MEANS OF EGRESS IN ACCORDANCE WITH PER 2015 IRC SEC. R311.

HALLWAYS SHALL BE IN COMPLIANCE WITH 2015 IRC SEC. R311.4

STAIRS, HANDRAIL & GUARD SPECIFICATIONS:
STAIRWAY WIDTH, HEADROOM, TREADS, RISERS, NOSING, LANDING AND HANDRAIL SHALL BE IN COMPLIANCE WITH 2015 IRC SEC. R311.7.

WINDER TREADS IN STAIRWAY SHALL BE IN COMPLIANCE WITH 2015 IRC SEC. R311.7.5.2.1

HANDRAIL SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS, PER 2015 IRC SEC. R311.7.8.

HANDRAIL HEIGHT MEASURED FROM EDGE TO NOSING SHALL NOT BE LESS THAN 34IN OR MORE THAN 38IN HT. IN COMPLIANCE WITH 2015 IRC SEC. R311.7.8.1.

GUARD HEIGHT MEASURED FROM FINISH FLOOR SHALL BE NOT LESS THAN 36IN, PER 2015 IRC SEC. R312.1.2. GUARD OPENINGS SHALL BE LESS THAN 4" DIA. SPHERE, PER IRC 2015 SEC. R312.1.3.

GLAZING IN HAZARDOUS LOCATION SPECIFICATIONS:
IDENTIFICATION OF HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING PER 2015 IRC SEC. R308.4 TO INCLUDE BUT NOT LIMITED TO: GLAZING IN GUARDS & HANDRAILS, GLASS SHOWER ENCLOSURES AND IN WET LOCATIONS, GLAZING IN DOORS AND ADJACENT TO DOORS, GLAZING IN WINDOWS AS SPECIFIED IN 2015 IRC SEC. R308.2, R308.3 AND R301.5 AND IN WINDOW SPECIFIED IN WINDOW & DOOR SCHEDULE, AND SKYLIGHTS AS PER 2015 IRC SEC. R308.6.

PROVIDE FULLY TEMPERED GLASS OR OTHER TYPE OF GLAZING PERMITTED PER 2015 IRC SEC. R308.6.2 IN HAZARDOUS LOCATIONS IDENTIFIED ABOVE.

ACCESSIBILITY SPECIFICATIONS:
PROVIDE ACCESSIBILITY REQUIREMENTS, INCLUDING BUT NOT LIMITED TO: DOOR CLEARANCE, REINFORCEMENT BLOCKING FOR FUTURE GRAB BARS IN ALL REQUIRED AREAS, IN COMPLIANCE WITH LOCAL AMENDMENTS TO IRC 2015 SEC. R302.

ADDITIONAL INFORMATION ON GLAZING, MEANS OF EGRESS AND EMERGENCY ESCAPE AND RESCUE OPENING CODE NOTES FOUND UNDER WINDOW & DOOR NOTES.

PROJECT ADDRESS & LEGAL DESCRIPTION:

1112 WEST 7TH STREET, AUSTIN, TX.
LOT 19, BLOCK A, THE RAYMOND SUBDIVISION, VOL/CAB 2, PAGE 129.
PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

SYMBOLS LEGEND

- EXISTING WALL
- DEMOLITION WALL
- NEW WALL
- NEW CONC. FOUNDATION
- EXTERIOR FACADE
- BUILDING SECTION
- DOOR DESIGNATION
- WINDOW DESIGNATION

SITE PLAN LEGEND PER SURVEY

- P.L. PROPERTY LINE
- BUILDING SETBACKS
- EXISTING BUILDING LINE
- PROPOSED DEMOLITION
- PROPOSED IMPROVEMENT AREA
- EXISTING ROOF OVERHANDS
- NEW ROOF OVERHANDS
- ESMT LINE
- OVERHEAD ELEC/TELE LINE
- 1/2" IRON PIPE FOUND
- FINISHED FLOOR ELEVATION
- HIGHEST GROUND ELEV. OF SECTION NOTED
- AVERAGE ADJACENT GRADE OF EXISTING GROUND CONDITIONS ON 04/17/18 AT BUILDING CORNERS
- EXISTING GROUND ELEVATION SHOT ON 04/17/18

PROJECT INFO:

SF3 ZONING: FAMILY RESIDENCE, McMANSION ORDINANCE BOUNDARY AREA.
EXISTING STRUCTURE: ONE AND A HALF STORY, PIER AND BEAM FOUNDATION, WOOD FRAME, WOOD SIDING & ASPHALT COMPOSITION SHINGLE ROOF, 3 BEDROOM HOUSE, 1 BATH.
FRONT SET BACK: 25FT, SIDES SET BACKS: 5FT, REAR SEAT BACK: 10FT. BUILDING LINE: FT

PROJECT SCOPE:

DEMOLITION OF INTERIOR NON-LOAD BEARING WALL PARTITIONS, DEMOLITION OF NON-ORIGINAL 1 STORY BACK ADDITION BATH AND SCREENED PORCH, DEMOLITION OF DETACHED BACK WOOD DECK AND 2 WOOD SHEDS. REMODEL OF ALL INTERIOR GROUND FLOOR, CONVERSION OF ATTIC AREA TO NEW 2ND FLOOR AIR-CONDITIONED AREA TO INCL. 2 BEDROOMS, 2 BATHS, LAUNDRY AND FAMILY ROOM, ADDITION OF DORMER TO WEST SIDE OF EXISTING ROOF, ATTACHED BACK NEW ADDITION OF 2 STORY STRUCTURE FOR GROUND FLOOR KITCHEN AND SECOND FLOOR MASTER SUITE, BASEMENT ADDITION TO INCL. 2 BEDROOMS, 1 BATH, AND GRAND ROOM WITH KITCHENETTE AND EXTERIOR COURTYARD. RELOCATION AND CONVERSION OF EXISTING WOOD SHED TO CARPORT.

CALCULATIONS:

LOT SIZE: 8,750SQFT
MAX. 45% IMPERVIOUS COVERAGE ALLOWED: 3,937.55QFT
MAX. FAR. 40% BUILDING COVERAGE ALLOWED: 3,590SQFT

AREA DESCRIPTION	EXISTING	ADDITION	TOTALS	FAR APPLIED EXEMPTIONS	TOTAL FAR
1ST FLOOR AIR-CONDITIONED AREA	1504SQFT	343SQFT	1847SQFT	0	1847SQFT
2ND FLOOR AIR-CONDITIONED AREA	0	1548SQFT	1548SQFT	0	1548SQFT
BASEMENT AIR-CONDITIONED AREA	0	1517SQFT	1517SQFT	1517SQFT	0SQFT
AREA W/CEILING >15FT. HT.	0	0	0	0	0SQFT
COVERED PARKING: CARPORT (DETACHED 1Z CAR)	0	258SQFT	258SQFT	450SQFT	0SQFT
OTHER (COVERED OR ROOF AREA): GROUND FLOOR PORCH	422SQFT	119SQFT	541SQFT	541SQFT	0SQFT
OTHER - SPECIFY: SCREENED BACK PORCH & ACCESSORY BLDGS	683SQFT	-683SQFT	0	0	0SQFT
TOTAL GROSS AREA					3,395SQFT
BALCONY - SPECIFY: MASTER BEDROOM BALCONY	0	315SQFT	315SQFT		
TOTAL BUILDING AREA (INCLUDES BASEMENT & 2ND FLR. AREA EXCLUDES AREA W/CEILING >15FT. HT.)	2,609SQFT	3,133SQFT	5,742SQFT		
TOTAL BUILDING COVER (EXCL. BASEMENT & 2ND FLR AREA)	1,504SQFT (A)		2,646SQFT (B)		
DRIVEWAY	0	382SQFT	382SQFT		
SIDEWALKS	72SQFT	219SQFT	291SQFT		
UNCOVERED WOOD & BACK WD. STAIRS (50%)	152.55SQFT	-152.55SQFT	0		
AC PADS & AND OTHER CONC. FLATWORK	0	365SQFT	365SQFT		
OTHER: (POOL COPING, RETAINING WALLS)	224	70SQFT	294SQFT		
TOTAL IMPERVIOUS COVER	1,952.55SQFT (C)		3,649SQFT (D)		
OTHERS: (POOL/SPA)	0	579SQFT	579SQFT		

BUILDING COVERAGE INFORMATION	
EXISTING BUILDING COVERAGE: 1,504SQFT	17.2% OF LOT SIZE
FINAL BUILDING COVERAGE: 2,646SQFT	30% OF LOT SIZE
IMPERVIOUS COVERAGE INFORMATION	
EXISTING TOTAL IMPERVIOUS COVERAGE: 1,952.55SQFT	22.3% OF LOT SIZE
FINAL TOTAL IMPERVIOUS COVERAGE: 3,649SQFT	41.7% OF LOT SIZE
SUBCHAPTER F INFORMATION	
TOTAL FAR: (3,395QFT/8,750SQFT)X100	38.8% OF LOT SIZE

GENERAL NOTES

- DESIGN & CONSTRUCTION SHALL COMPLY WITH IRC 2015, 2015 IECC, 2017 NATIONAL ELECTRICAL CODE, 2015 UNIFORM PLUMBING CODE, 2015 INTERNATIONAL MECHANICAL CODE, 2015 INTERNATIONAL FIRE CODE, 2015 INTERNATIONAL FUEL GAS CODE AND THE CITY OF AUSTIN CURRENT BUILDING CODE & LOCAL AMENDMENTS. PERMITS AND INSPECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- INSTALL ALL MECHANICAL, ELECTRICAL & PLUMBING EQUIPMENT ACCORDING TO REQUIREMENTS OF LOCAL CURRENT ENERGY CODE, 2015 IECC.
- EVERY EFFORT HAS BEEN MADE BY THE ARCHITECT TO ENSURE LOCAL CODE COMPLIANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WORK CONFORMS WITH ALL APPLICABLE CODES. IF DISCREPANCIES ARE NOTED, NOTIFY THE ARCHITECT PRIOR TO WORK.
- REFER STRUCTURAL DRAWINGS FOR INSTRUCTIONS REGARDING PROTECTION AND REINFORCEMENT TO EXISTING STRUCTURE DURING EXCAVATION. PROTECTION OF THE EXISTING STRUCTURE IS RESPONSIBILITY OF THE GENERAL CONTRACTOR DURING EXCAVATION, ERECTION OF NEW STRUCTURE, AND THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGHLY ACQUAINTING HIMSELF WITH THE WORKING DRAWINGS, INCLUDING ALL GENERAL NOTES, DIMENSIONS, M.E.P. NOTES, AND ALL OTHER NOTES PERTAINING TO ANY PARTICULAR DRAWING. NOTIFY ARCHITECT OF DISCREPANCIES.
- THE CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH THE EXISTING WORKING CONDITIONS.
- CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL DIMENSIONS, EQUIPMENT, FIXTURES, FITTINGS AND OTHERS BEFORE ORDERING MATERIAL AND PROCEEDING WITH THE WORK.
- NOTIFY THE ARCHITECT OF ANY VARIATION IN NOTED DIMENSIONS IF SUCH VARIATION IS REQUIRED FOR EQUIPMENT, FIXTURES, OR FITTINGS TO FUNCTION AS INTENDED.
- PROVIDE ALL ELECTRICAL & PLUMBING CONNECTIONS AS REQUIRED PER CODE AND MANUFACTURER FOR ALL LIGHTING/PLUMBING FIXTURES, APPLIANCES, & OTHER EQUIPMENT.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING THE WORK.
- FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- MINIMUM CLEARANCE DIMENSIONS INDICATED SHALL BE MAINTAINED.
- NEW EXTERIOR WALLS SHALL BE WOOD STUD GRADE 2 X 6 NO. 2 5/2" AT 16" ON CENTER WITH 1/2" PLYWOOD SHEATHING ON THE OUTSIDE FACE AND 1/2" GYPSUM BOARD SHEATHING ON THE INSIDE FACE, UNLESS NOTED OTHERWISE.
- NEW INTERIOR WALLS SHALL BE WOOD STUD GRADE 2 X 4 NO. 2 5/2" AT 16" ON CENTER WITH 1/2" GYPSUM BOARD SHEATHING ON BOTH SIDES, UNLESS NOTED OTHERWISE.
- PROVIDE R19 MIN. VALUE INSULATION IN ALL NEW ADDITION EXTERIOR WALLS. PROVIDE R15 MIN. VALUE INSULATION IN ALL EXISTING EXTERIOR WALL. PROVIDE R39 MIN. VALUE BATT INSULATION THROUGHOUT ROOF. PROVIDE R13 MIN. VALUE INSULATION IN FLOORS.
- PROVIDE BLOCKING AS REQUIRED FOR PROPER ERECTION OF WALL AND CEILING MOUNTED EQUIPMENT.
- CONCEAL ALL PIPING AND DUCTWORK IN WALLS AND CEILINGS.
- PROVIDE ALARM ALL PATIO DOORS THAT ENTER ON TO BACK DECK OR ANY DOOR THAT LEADS FROM HOUSE TO FENCED POOL IN AREA WHERE APPLICABLE, PER POOL REQUIREMENTS IN 2015 IRC.
- CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF WORK.

DIXON Residence
REMODEL/ADDITION
1112 7TH Street, Austin TX.

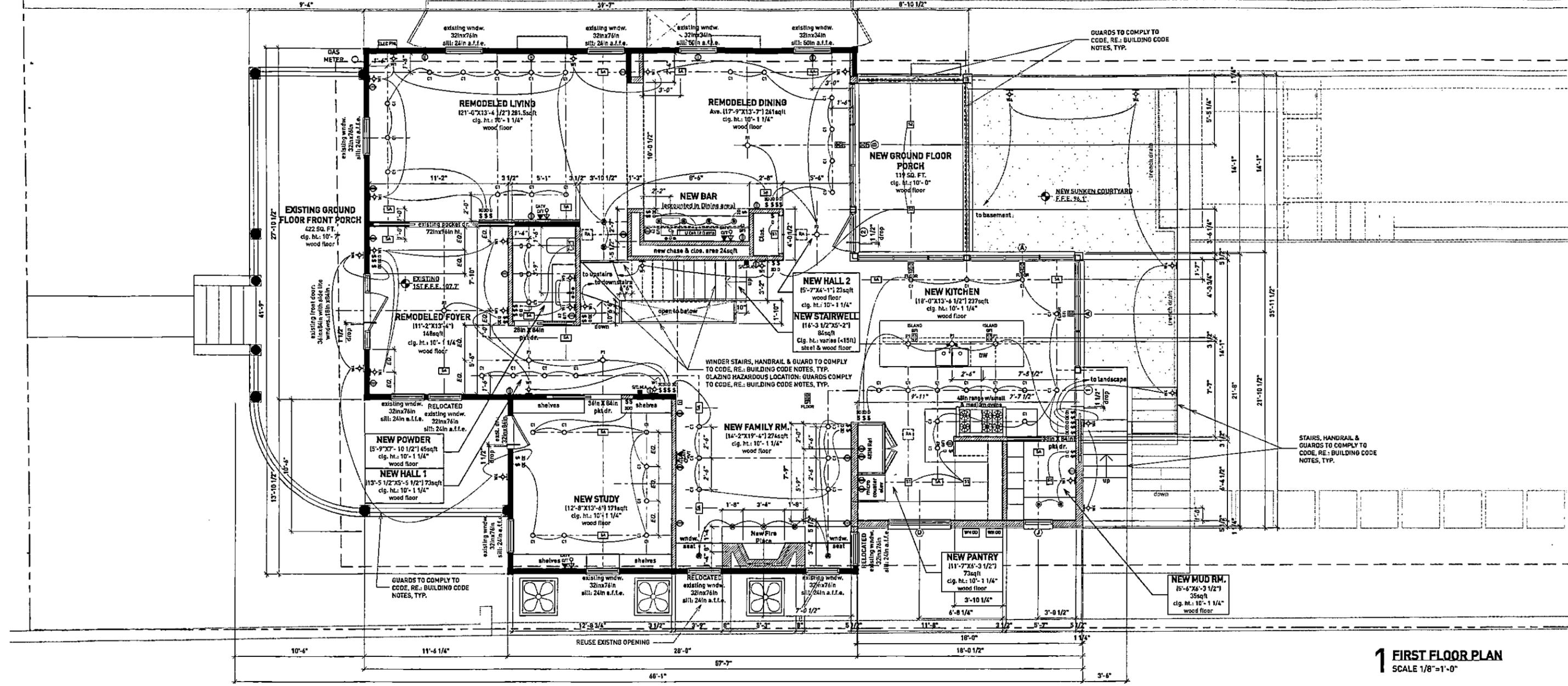
WoodEye
Construction and Design

1106 W. Koenig Lane
Austin, Texas 78756



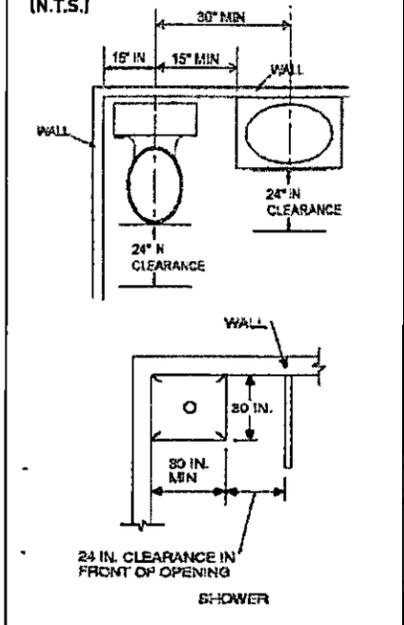
HISTORICAL REVIEW
07-22-2018

A1
SITE/ROOF PLAN
DEMOLITION PLAN
LEGENDS
PROJECT INFO/SCOPE
CALCULATIONS
GENERAL NOTES
BUILDING CODE NOTES

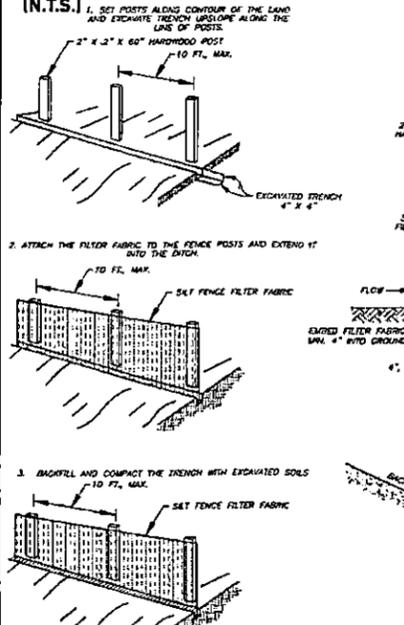


1 FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

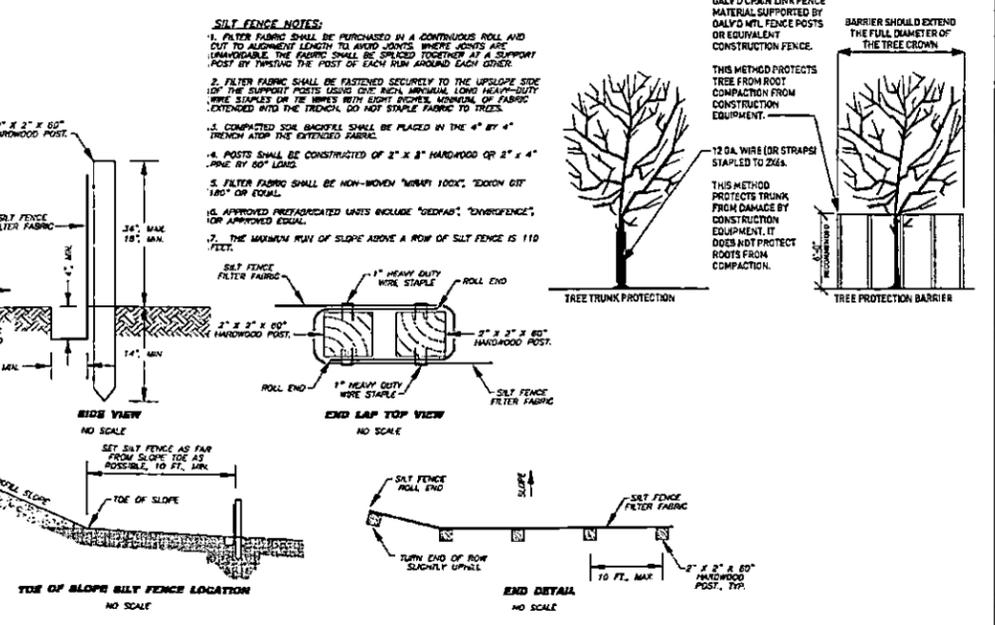
GRAPHIC 2: MIN. CLEARANCES AT BATHS (N.T.S.)



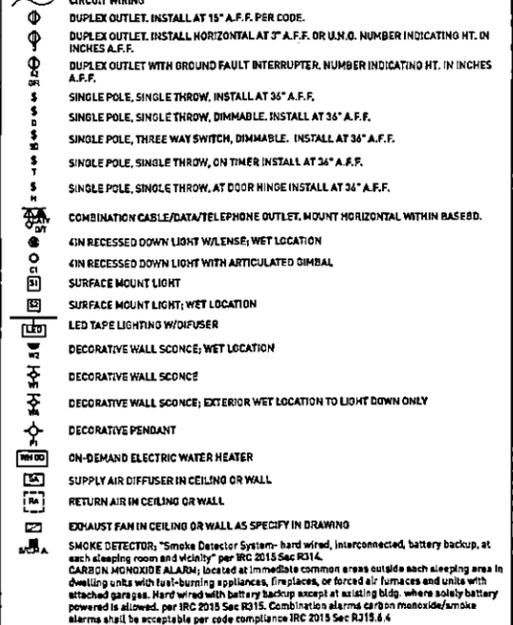
GRAPHIC 1: SILT FENCE/TREE PROTECTION (N.T.S.)



SILT FENCE NOTES:



MEP LEGEND



MEP NOTES

- INSTALL ALL PLUMBING FIXTURES & FITTINGS, APPLIANCES, LIGHTING & ELECTRICAL FIXTURES AS PER MANUFACTURER'S RECOMMENDATIONS.
- ALL INSTALLATIONS SHALL COMPLY WITH CURRENT NATIONAL ELECTRICAL CODE, UNIFORM PLUMBING CODE, UNIFORM MECHANICAL CODE, APPLICABLE LOCAL ORDINANCES, CODES, & LAWS. PERMITS AND INSPECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- INSTALL MECHANICAL, ELECTRICAL, & PLUMBING EQUIPMENT WITHIN REQUIREMENTS OF LOCAL ENERGY CODE.
- PROVIDE ALL ELECTRICAL & PLUMBING CONNECTIONS AS REQUIRED FOR ALL LIGHTING/PLUMBING FIXTURES, APPLIANCES, & OTHER EQUIPMENT.
- MECHANICAL, ELECTRICAL, & PLUMBING PLAN (MEP PLAN) CONSTITUTE A GUIDE FOR GENERAL LOCATION OF OUTLETS, SWITCHES, & CONNECTIONS ONLY, UNLESS SPECIFICALLY DIMENSIONED. COORDINATE WITH ARCHITECT AND OWNER IN FIELD FOR FINAL LOCATIONS.
- NEW ADDITION AND ALL EXISTING HOSE BIBBS WATER TO BE SUPPLIED BY CITY WATER.
- ELECTRICAL CODE REQUIREMENTS, CIRCUITING, ROUTING, SIZING OF CONDUCTORS, PANELS, BREAKERS, SERVICE, & COORDINATION WITH OTHER TRADES ARE THE RESPONSIBILITIES OF THE MASTER ELECTRICAL CONTRACTOR.
- MECHANICAL EQUIPMENT SIZING, REGISTER AND DUCT SIZING, HEAT LOAD CALCULATIONS, ROUTING, CODE COMPLIANCE, AND COORDINATION WITH OTHER TRADES ARE THE RESPONSIBILITIES OF THE MECHANICAL CONTRACTOR. DUCT AND REGISTER LOCATIONS ARE INDICATED ONLY AS A GUIDE. INDICATE WHERE STRUCTURAL SPACE FOR DUCTS SHOULD BE ANTICIPATED AND/OR HAS BEEN ALLOCATED IN THE DRAWINGS.
- USE INSULATED FLEX DUCTS, TYP.
- PROVIDE EMERGENCY HEAT SETTINGS FOR EXTREME COLD DAYS THROUGH HEAT STRIP INSIDE DUCTS. COORDINATE WITH ARCHITECT AND OWNER.
- CEILING OUTLETS FOR ELECTRICAL AND MECHANICAL DEVICES SHALL BE ARRANGED IN A LOGICAL AND NEAT CONFIGURATION. COORD. W/ ARCHITECT & OWNER.
- INSTALL REGISTERS AND LIGHT FIXTURES O.C.T.
- ALL LIGHT SWITCHES TO BE INSTALLED AT CONSISTENT HEIGHT ABOVE FLOOR LEVEL AS INDICATED IN MEP LEGEND.
- ALL OUTLETS SHALL BE ORFENDED.
- CONDUCT RIGID ELEC. BOX WALK THRU PRIOR TO RUNNING WIRES.
- FINISH FOR OUTLET COVERS, SWITCH PLATES, & ALL OTHER RECEPTACLES TO BE SELECTED IN FIELD. COORDINATE WITH ARCHITECT AND OWNER.

DIXON Residence
REMODEL/ADDITION
1112 7TH Street, Austin TX.

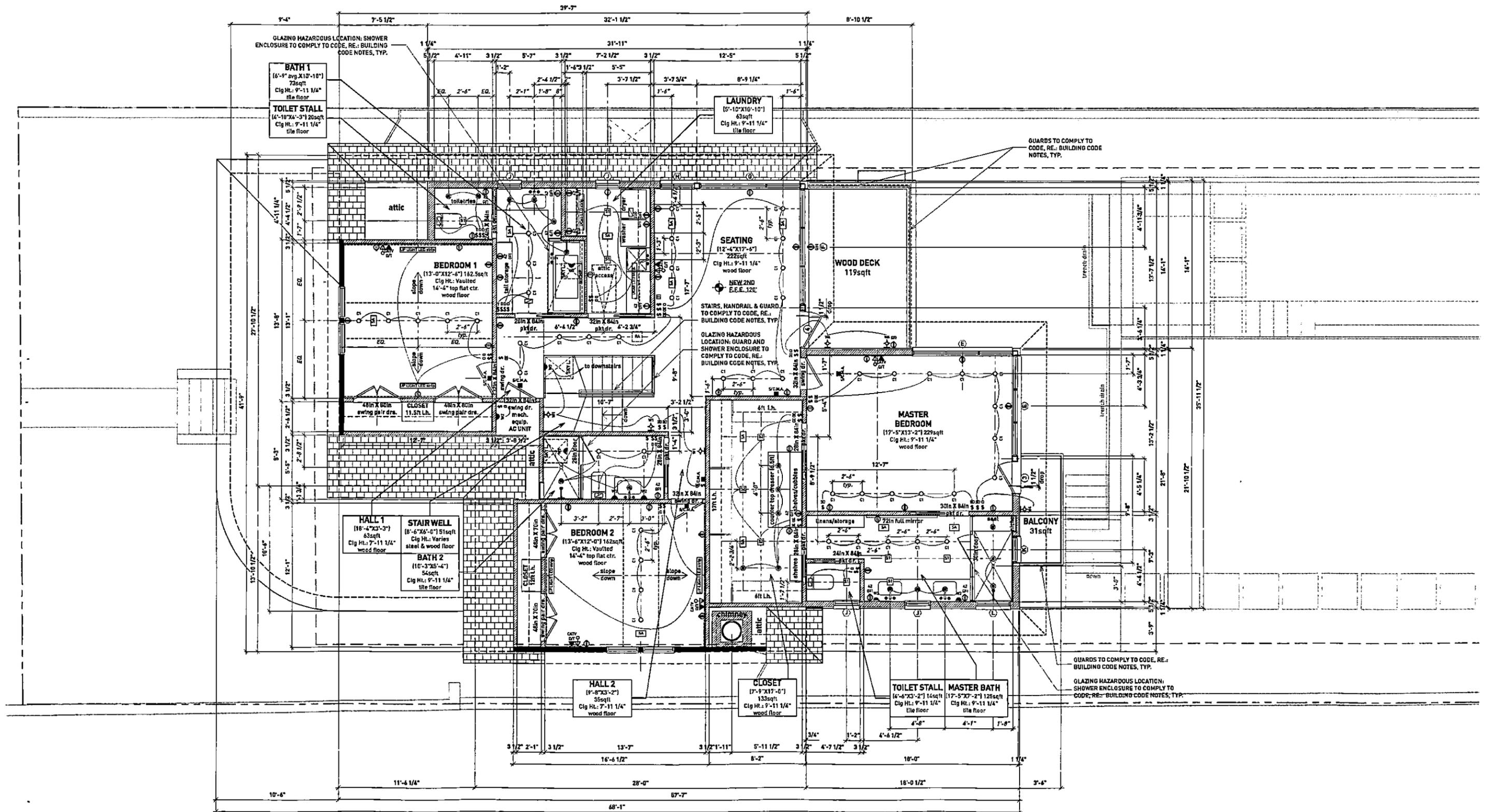
WoodEye
Construction and Design

1103 W. Koenig Lane
Austin, Texas 78756



HISTORICAL REVIEW
07/22/2018

A2
FIRST FLOOR PLAN
1ST FLOOR MEP
MEP NOTES
GRAPHIC 1 & 2



DIXON Residence
 REMODEL/ADDITION
 1112 7TH Street, Austin TX.

WoodEye
 Construction and Design

1105 W. Koenig Lane
 Austin, Texas 78754



HISTORICAL REVIEW
 07.22.2019

A3
 SECOND FLOOR PLAN

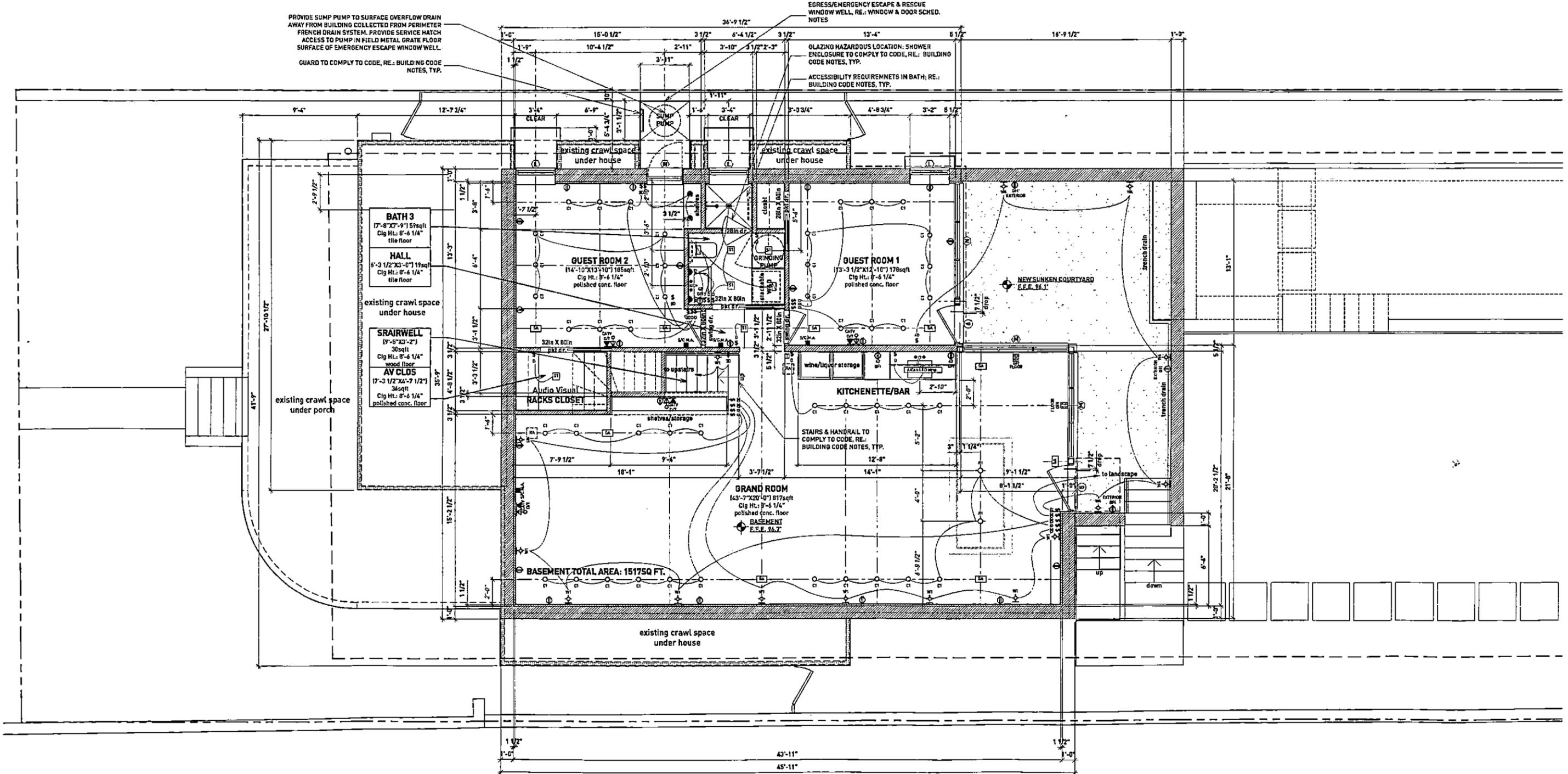
2 SECOND FLOOR PLAN
 SCALE 1/8"=1'-0"

PROVIDE SUMP PUMP TO SURFACE OVERFLOW DRAIN AWAY FROM BUILDING COLLECTED FROM PERIMETER FRENCH DRAIN SYSTEM. PROVIDE SERVICE HATCH ACCESS TO PUMP IN FIELD METAL GRATE FLOOR SURFACE OF EMERGENCY ESCAPE WINDOW WELL. GUARD TO COMPLY TO CODE, RE.: BUILDING CODE NOTES, TYP.

EGRESS/EMERGENCY ESCAPE & RESCUE WINDOW WELL, RE.: WINDOW & DOOR SCHED. NOTES

GLAZING HAZARDOUS LOCATION: SHOWER ENCLOSURE TO COMPLY TO CODE, RE.: BUILDING CODE NOTES, TYP.

ACCESSIBILITY REQUIREMENTS IN BATH, RE.: BUILDING CODE NOTES, TYP.



BASEMENT TOTAL AREA: 15175 SQ. FT.

3 BASEMENT FLOOR PLAN
SCALE 1/8"=1'-0"

DIXON Residence
REMODEL/ADDITION
1112 7TH Street, Austin TX.

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Austin, Texas 78754



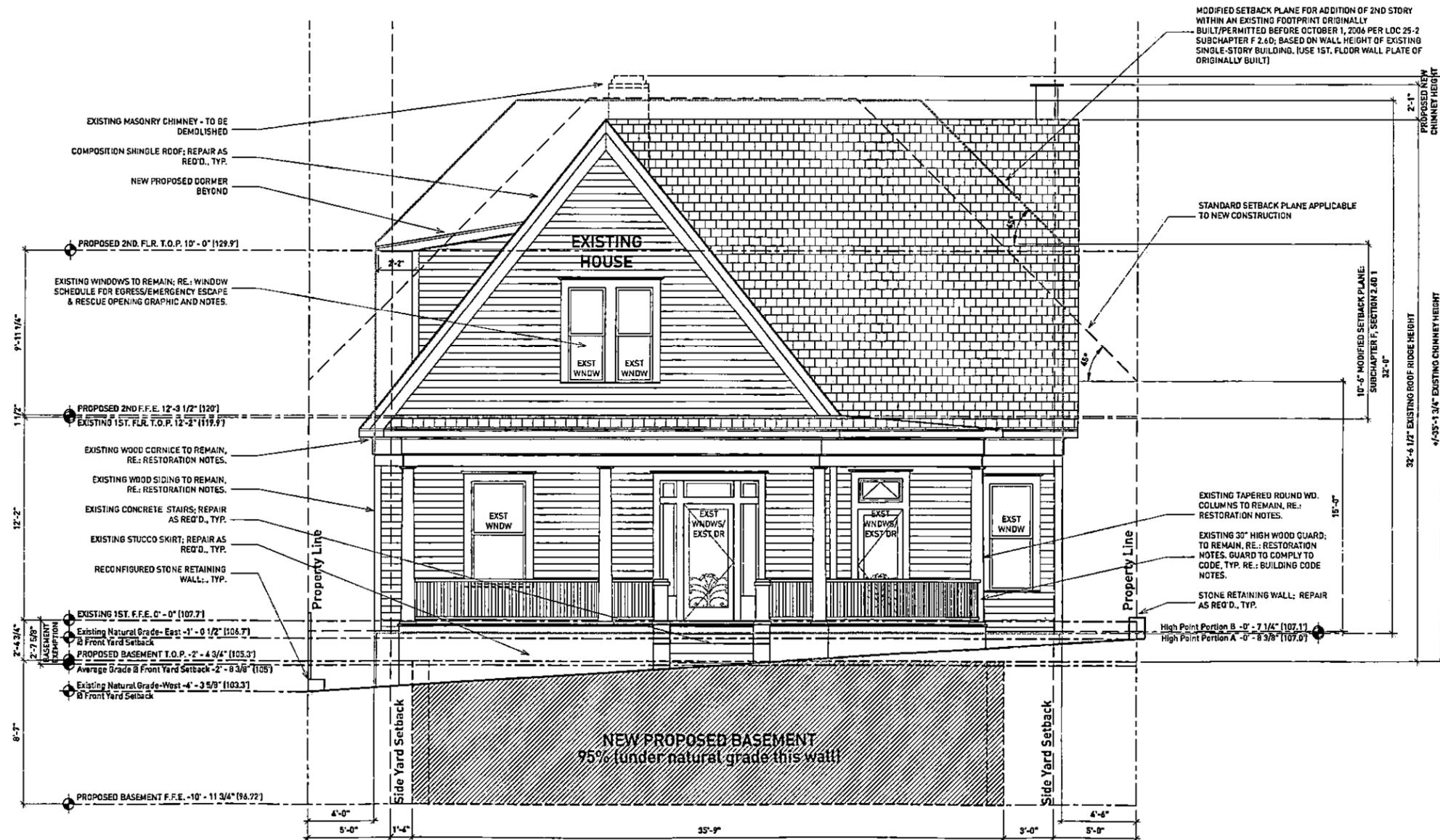
RECORD
07.22.2018

A4
BASEMENT FLOOR PLAN

RESTORATION NOTES

PROTECT AND RESTORE AS REQUIRED, MATCH WHERE IRREPARABLE, ALL EXTERIOR EXISTING ORIGINAL ELEMENTS TO REMAIN SUCH, BUT NOT LIMITED TO: CORNICE, COLUMNS, BALUSTRADE, WINDOW AND DOOR TRIMS & SCREENS, SIDING, WOOD DECKING AND HARDWARE.

EXISTING WINDOWS AND DOORS TO REMAIN AND/OR RELOCATE; PROTECT AND RESTORE AS REQUIRED. LABELED IN EXTERIOR ELEVATIONS AS "EXST WNDW" & "EXIST DR"

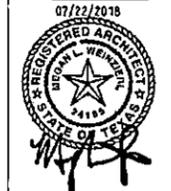


1 EXTERIOR ELEVATION - FRONT
SCALE 1/8"=1'-0"

DIXON Residence
REMODEL/ADDITION
1112 7TH Street, Austin TX.

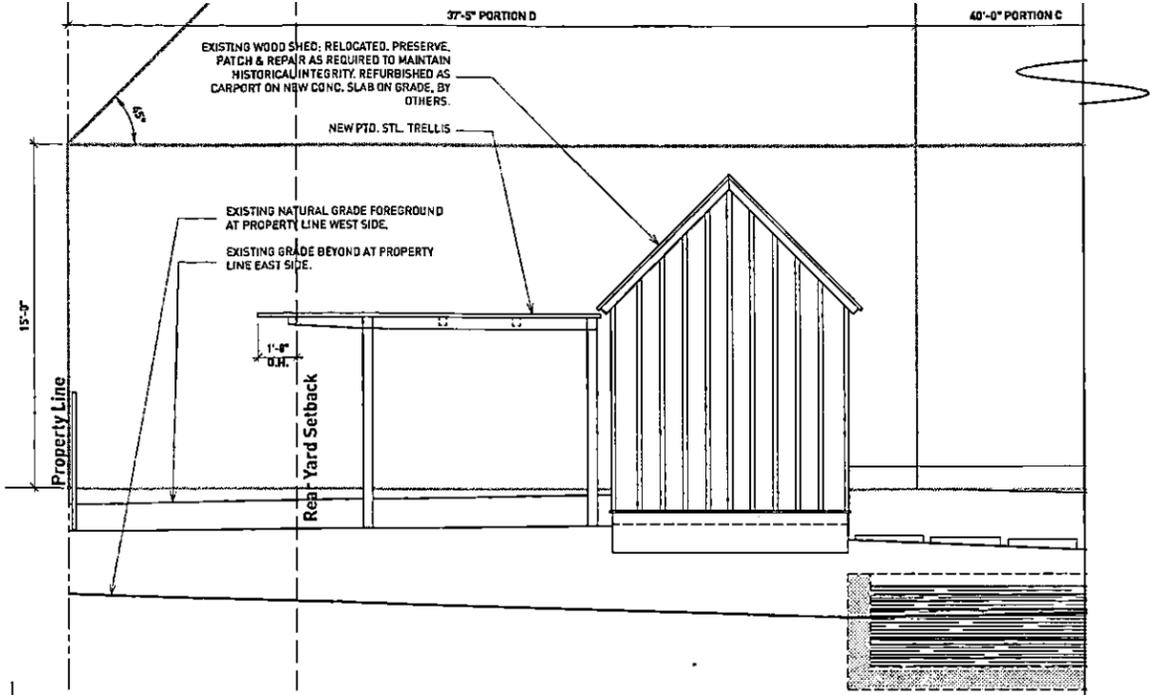
WoodEye
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Austin, Texas 78756



HISTORICAL REVIEW
07.22.2018

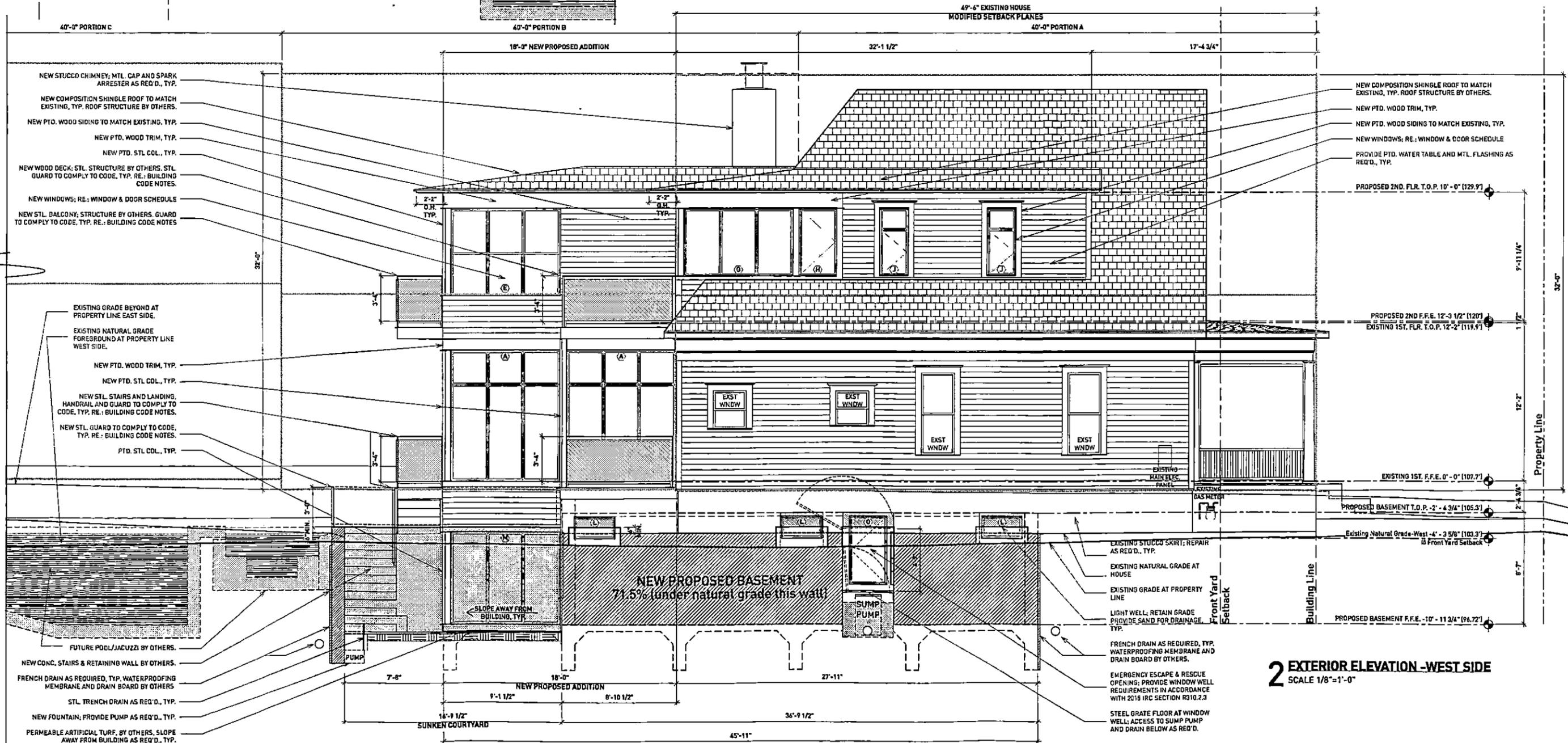
A5
EXTERIOR ELEVATIONS



RESTORATION NOTES

PROTECT AND RESTORE AS REQUIRED, MATCH WHERE IRREPARABLE, ALL EXISTING ORIGINAL ELEMENTS TO REMAIN SUCH, BUT NOT LIMITED TO: CORNICE, COLUMNS, BALUSTRADE, WINDOW AND DOOR TRIMS & SCREENS, SIDING, WOOD DECKING AND HARDWARE.

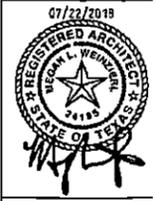
EXISTING WINDOWS AND DOORS TO REMAIN AND/OR RELOCATE; PROTECT AND RESTORE AS REQUIRED. LABELED IN EXTERIOR ELEVATIONS AS "EXST WNDW" & "EXST DR"



DIXON Residence
 REMODEL/ADDITION
 1112 7TH Street, Austin TX.

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 Austin, Texas 78756



HISTORICAL REVIEW
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A6
 EXTERIOR ELEVATIONS

2 EXTERIOR ELEVATION - WEST SIDE
 SCALE 1/8"=1'-0"

RESTORATION NOTES

PROTECT AND RESTORE AS REQUIRED, MATCH WHERE IRREPARABLE, ALL EXTERIOR EXISTING ORIGINAL ELEMENTS TO REMAIN SUCH, BUT NOT LIMITED TO: CORNICE, COLUMNS, BALUSTRADE, WINDOW AND DOOR TRIMS & SCREENS, SIDING, WOOD DECKING AND HARDWARE.

EXISTING WINDOWS AND DOORS TO REMAIN AND/OR RELOCATE; PROTECT AND RESTORE AS REQUIRED. LABELED IN EXTERIOR ELEVATIONS AS "EXST WNDW" & "EXIST DR"

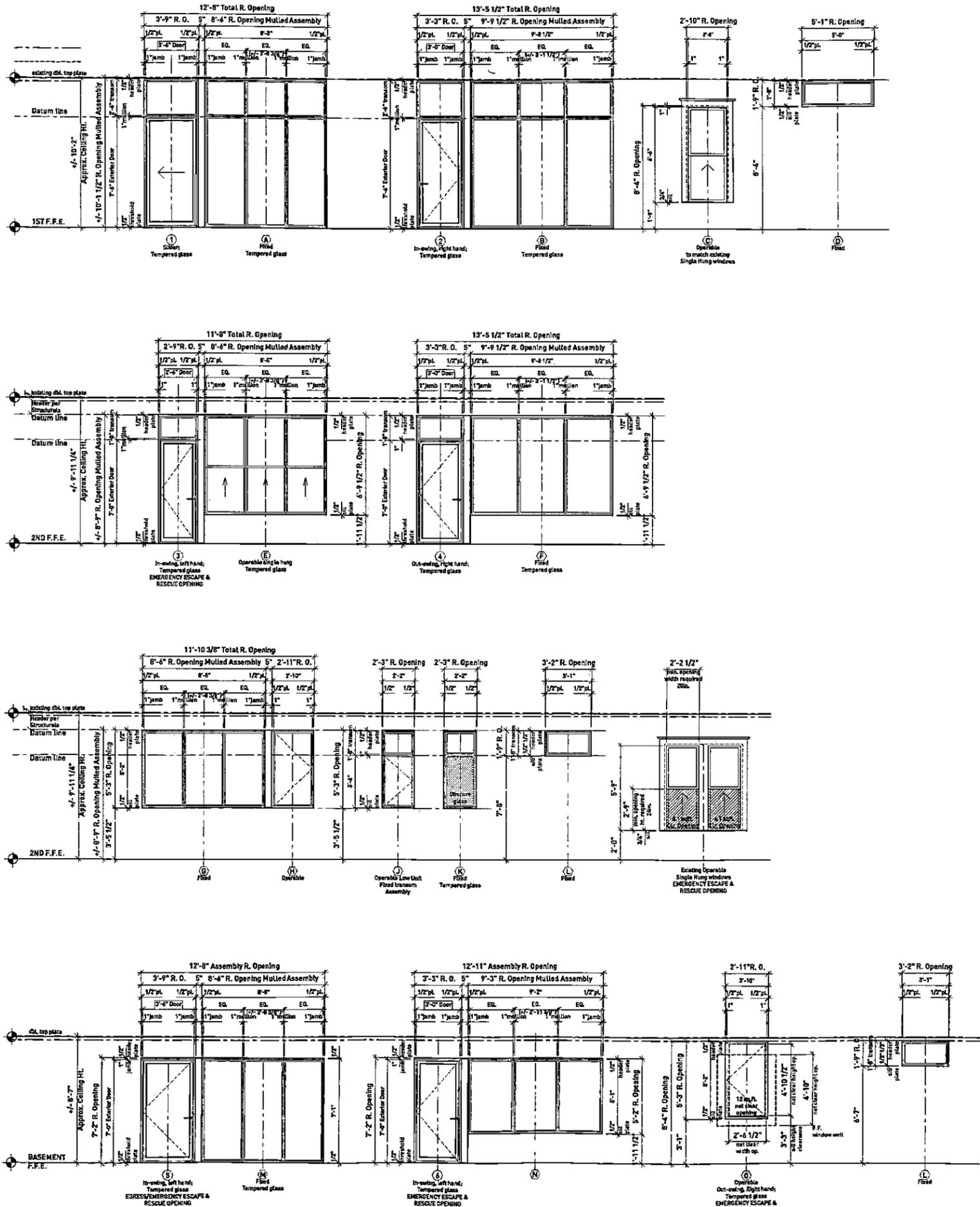


4 EXTERIOR ELEVATION - EAST SIDE
SCALE 1/8"=1'-0"

DIXON Residence
REMODEL/ADDITION
1112 7TH Street, Austin TX.

WoodEye
Construction and Design
1106 W. Koenig Lane
Austin, Texas 78756
01/22/2018
REGISTERED ARCHITECT
MICHAEL L. WOOD
2018
HISTORICAL REVIEW
07.22.2018

A8
EXTERIOR ELEVATIONS



WINDOW SCHEDULE CHART

WINDOW KEY	NOMINAL DIMENSION		OPERATION	SILL TOP	HDR. BOT.	ENERGY INFO		REMARKS
	WIDTH	HEIGHT				U-FACTOR	SHGC	
A	8'-5"	10'-0"	MULLED ASSEMBLY 3-EG. PANES	FIXED	1/2" A.F.F.	10'-1 1/2" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS, TEMPERED GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
B	9'-8 1/2"	10'-0"	MULLED ASSEMBLY 3-EG. PANES	FIXED	1/2" A.F.F.	10'-1 1/2" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS, TEMPERED GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
C	2'-8"	6'-6"	TO MATCH ADJACENT EXISTING	SINGLE HUNG	2'-6" A.F.F.	7'-0" A.F.F.	0.35 0.25	KOLBE WOOD WINDOW; THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 4-1/2" JAMB. SEE ELEVATION FOR DETAILS.
D	5'-0"	1'-8"	FIXED	FIXED	8'-4 1/2" A.F.F.	10'-1 1/2" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
E	8'-5"	6'-8 1/2"	MULLED ASSEMBLY 3-EG. PANES	SINGLE HUNG	2'-0" A.F.F.	8'-9" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS, TEMPERED GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
F	9'-8 1/2"	6'-8 1/2"	MULLED ASSEMBLY 3-EG. PANES	FIXED	2'-0" A.F.F.	8'-9" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS, TEMPERED GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
G	8'-5"	5'-2"	MULLED ASSEMBLY 3-EG. PANES	CASEMENT RIGHT HAND	3'-4" A.F.F.	8'-9" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
H	5'-2"	2'-10"	MULLED ASSEMBLY 3-EG. PANES	CASEMENT RIGHT HAND	3'-4" A.F.F.	8'-9" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
J	2'-2"	5'-2"	MULLED ASSEMBLY 3-EG. PANES	CASEMENT LEFT HAND LOWER UNIT / FIXED TRANSOM	3'-4" A.F.F.	8'-9" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
K	2'-2"	5'-2"	MULLED ASSEMBLY 3-EG. PANES	FIXED	3'-4" A.F.F.	8'-9" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
L	3'-1"	1'-8"	FIXED	VARIES PER ELEV	VARIES PER ELEV		0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
M	8'-5"	7'-1"	MULLED ASSEMBLY 3-EG. PANES	FIXED	1/2" A.F.F.	7'-2" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
N	9'-2"	5'-1"	MULLED ASSEMBLY 3-EG. PANES	FIXED	2'-0" A.F.F.	7'-2" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.
O	5'-2"	2'-10"	MULLED ASSEMBLY 3-EG. PANES	CASEMENT RIGHT HAND	3'-1" A.F.F.	8'-4" A.F.F.	0.35 0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. - PER CODE COMPLIANCE IRC 2015 SEC R310.3 EMERGENCY ESCAPE AND RESCUE OPENINGS. NET CLEAR OPENING: 1250FT, SILL HEIGHT: 39 IN A.F.F.E., CLEAR WIDTH: 30.5IN., CLEAR HEIGHT: 58.5IN. SEE ELEVATION FOR DETAILS.

DOOR SCHEDULE CHART

DOOR NUMBER	NOMINAL DIMENSION		OPERATION	HEADER BOTTOM	THICK-NESS	ENERGY INFO		REMARKS
	WIDTH	HEIGHT				U-FACTOR	SHGC	
1	3'-6"	7'-6"	SLIDER	+/- 10'-1 1/2" A.F.F.	PER MFR.	0.35 0.25	DON YOUNG DOOR WITH 3'-5" W. X 2'-6" HT. MULLED FIXED TRANSOM ABOVE; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. SEE ELEVATION FOR DETAILS.	
2	3'-0"	7'-6"	IN-SWING LEFT HAND	+/- 10'-1 1/2" A.F.F.	PER MFR.	0.35 0.25	DON YOUNG DOOR WITH 3'-0" W. X 2'-6" HT. MULLED FIXED TRANSOM ABOVE; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. SEE ELEVATION FOR DETAILS.	
3	2'-6"	7'-0"	EMERGENCY ESCAPE & RESCUE OPENING	+/- 8'-9" A.F.F.	PER MFR.	0.35 0.25	DON YOUNG DOOR WITH 2'-6" W. X 1'-8" HT. MULLED FIXED TRANSOM ABOVE; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. PER CODE COMPLIANCE IRC 2015 SEC R310.3 EMERGENCY ESCAPE AND RESCUE DOORS. SEE ELEVATION FOR DETAILS.	
4	3'-0"	7'-0"	EMERGENCY ESCAPE & RESCUE OPENING	+/- 8'-9" A.F.F.	PER MFR.	0.35 0.25	DON YOUNG DOOR WITH 3'-0" W. X 1'-8" HT. MULLED FIXED TRANSOM ABOVE; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. SEE ELEVATION FOR DETAILS.	
5	3'-0"	7'-0"	ADDRESS DOOR	+/- 7'-1 1/2" A.F.F.	PER MFR.	0.35 0.25	DON YOUNG DOOR; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. SEE ELEVATION FOR DETAILS.	
6	3'-6"	7'-0"	EMERGENCY ESCAPE & RESCUE OPENING	+/- 7'-1 1/2" A.F.F.	PER MFR.	0.35 0.25	DON YOUNG DOOR; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. PER CODE COMPLIANCE IRC 2015 SEC R310.3 EMERGENCY ESCAPE AND RESCUE DOORS. SEE ELEVATION FOR DETAILS.	

- NOTES:**
1. PROVIDE WINDOW WRAP, MOIST STOP AND MTL. FLASHING AT ALL FENESTRATION AS REQUIRED PER INDUSTRY STANDARDS.
 2. ALL WINDOWS, DOORS AND SKYLIGHTS SHALL BE IN COMPLIANCE WITH CURRENT CITY OF AUSTIN BUILDING CODE LOCAL AMENDMENTS, 2015 IRC AND CURRENT ENERGY CODE REQUIREMENTS. SKYLIGHTS IDENTIFIED PER SITE PLAN SHALL COMPLY WITH REQUIREMENTS IN ACCORDANCE TO TABLES R402.1.4 (1) AND R402.1.4 (2) WITH REQUIRED 40 U FACTOR AND .25 SHGC.
 3. PROVIDE TEMPERED GLAZING AS REQUIRED WHERE LOCATION SHALL BE CONSIDERED HAZARDOUS PER CURRENT CITY OF AUSTIN BUILDING CODE LOCAL AMENDMENTS AND PER 2015 IRC SEC. R308.4 (R308.4.1 through R308.4.7) & R308.6. DESIGNATED UNITS PER CHART AND GRAPHIC REPRESENTATIONS.
 4. EMERGENCY ESCAPE AND RESCUE OPENINGS REQUIRED & DESIGNATED SHALL COMPLY WITH CURRENT CITY OF AUSTIN BUILDING CODE LOCAL AMENDMENTS & IRC 2015 SEC R310.3. DESIGNATED UNITS PER CHART, GRAPHIC REPRESENTATIONS AND EXTERIOR ELEVATIONS. MAINTAIN MINIMUM WINDOW OPENING AREA AND WINDOW SILL HEIGHT REQUIREMENTS AS PER 2015 IRC SEC. R310.2.1 AND 310.2.2
 5. EMERGENCY ESCAPE AND RESCUE WINDOW WELL SHALL BE IN COMPLIANCE WITH 2015 IRC SEC. R310.2.3
 6. REQUIRED AND DESIGNATED MEANS OF EGRESS UNITS SHALL COMPLY WITH CURRENT CITY OF AUSTIN BUILDING CODE LOCAL AMENDMENTS & 2015 IRC SEC R311 (R311.2 through R311.4) DESIGNATED UNITS PER CHART, GRAPHIC REPRESENTATIONS AND EXTERIOR ELEVATIONS.

WINDOW & DOOR SCHEDULE- GRAPHIC REPRESENTATION
SCALE 1/8"=1'-0"

TUTTLE Residence
REMODEL/ADDITION
4302 Avenue D, Austin TX.

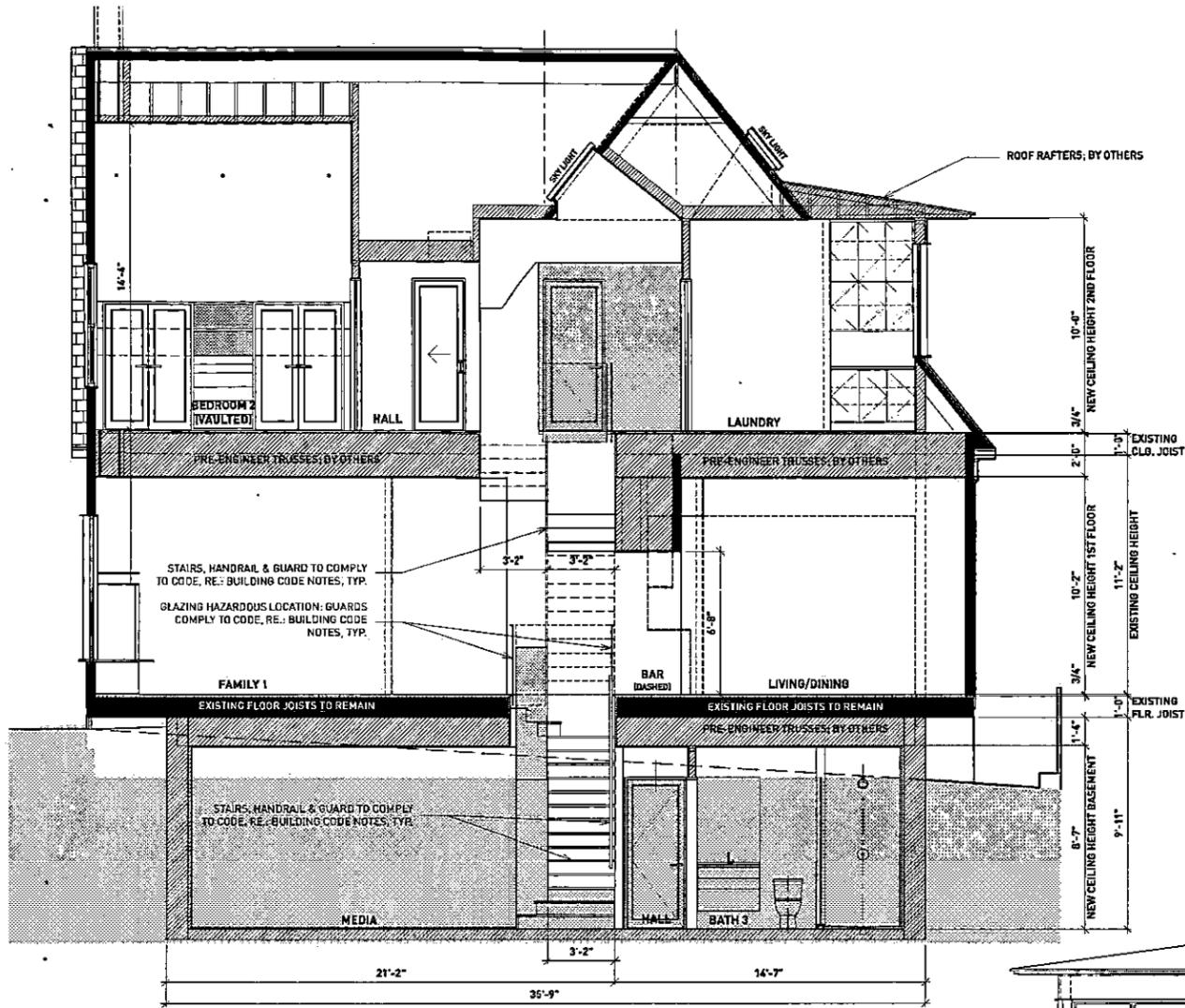
WoodEye
Construction and Design

1106 W. Koenig Lane
Austin, Texas 78755

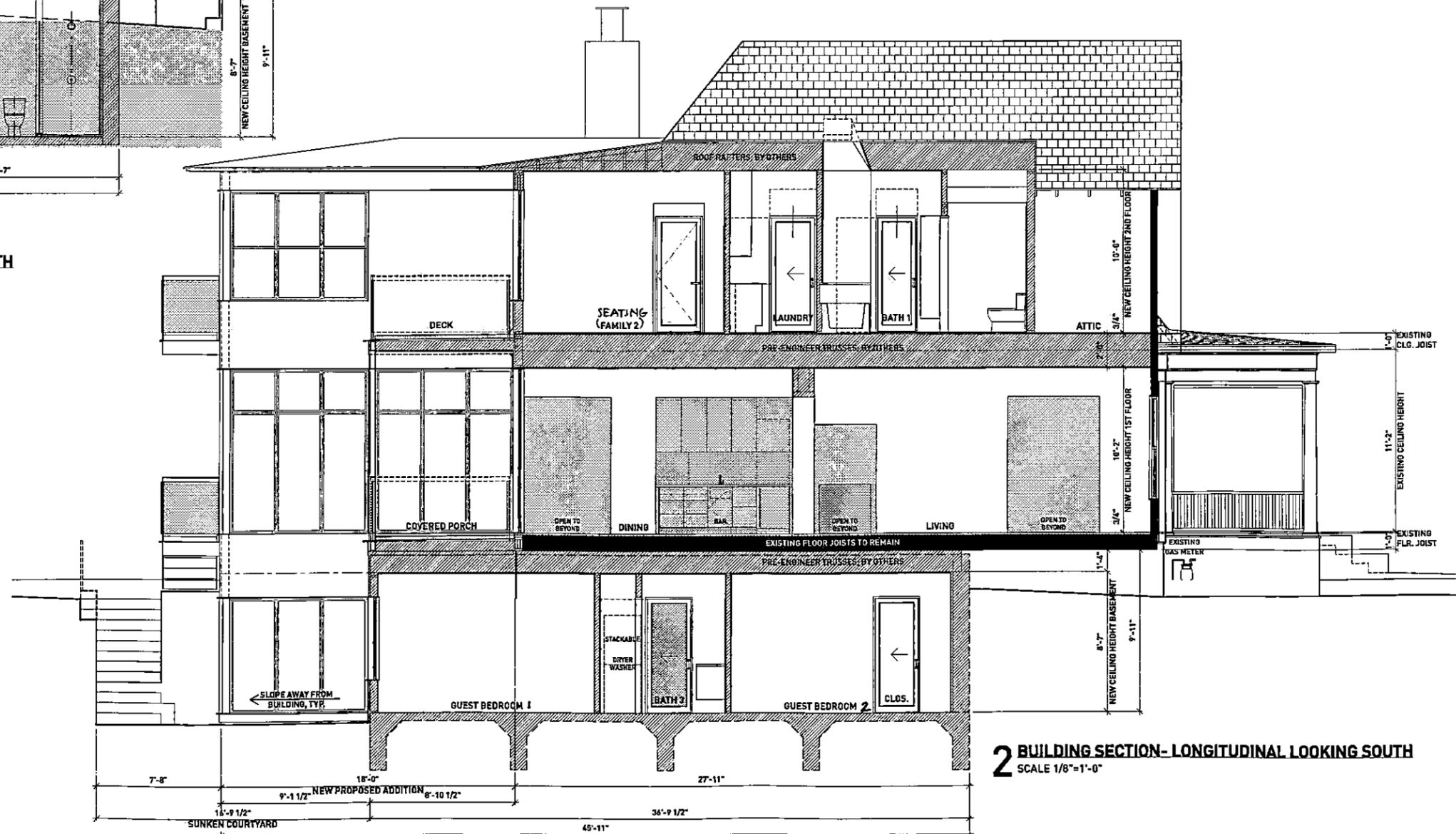


HISTORICAL REVIEW
07.22.2017

A9
WINDOW AND DOOR
SCHEDULE
WINDOW AND DOOR NOTES



1 BUILDING SECTION- TRANSVERSAL LOOKING SOUTH
SCALE 1/8"=1'-0"



2 BUILDING SECTION- LONGITUDINAL LOOKING SOUTH
SCALE 1/8"=1'-0"

TUTTLE Residence
REMODEL/ADDITION
4302 Avenue D, Austin TX.

WoodEye
Construction and Design

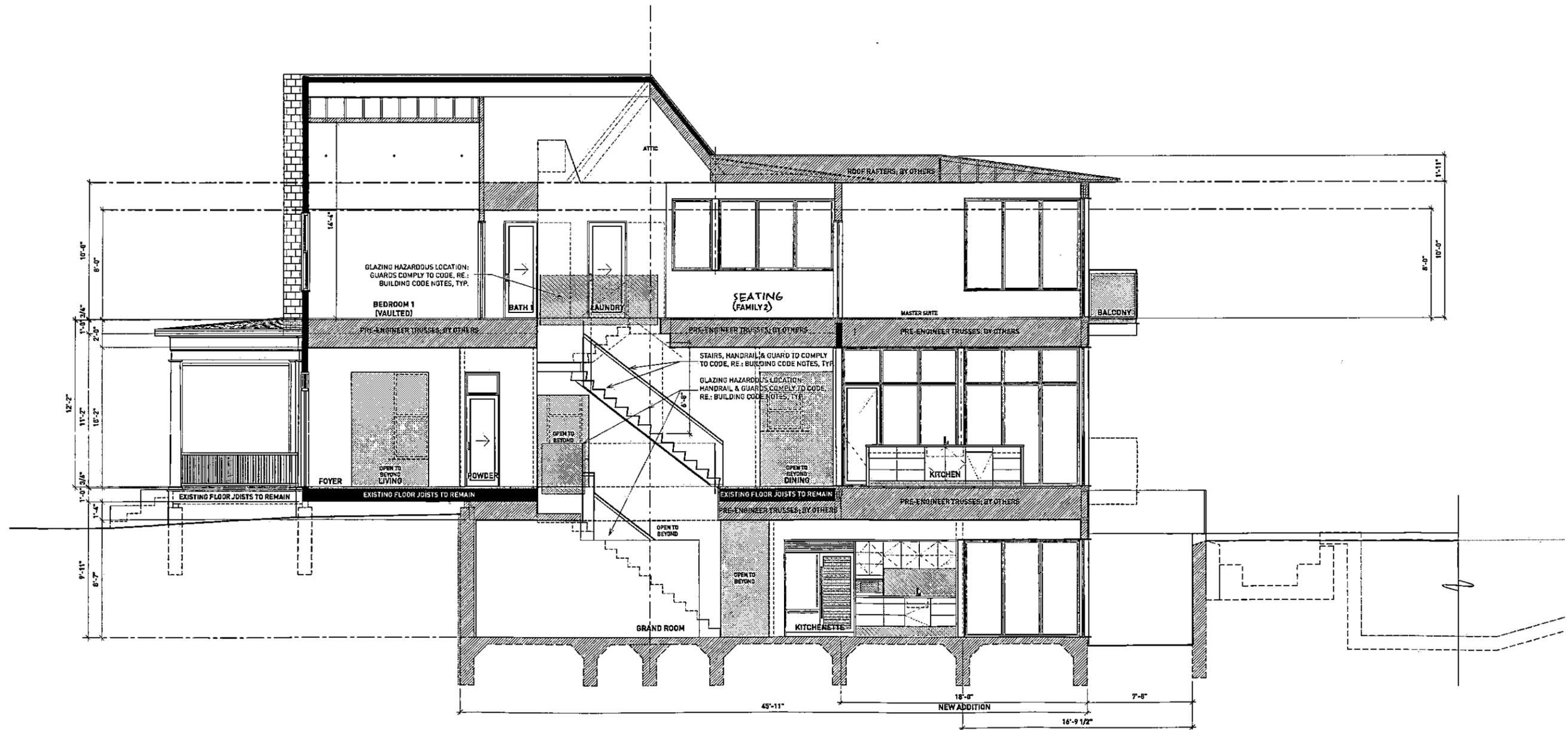
1104 W. Koenig Lane
Austin, Texas 78756

07/22/2018



HISTORICAL REVIEW
07.22.2017

A10
BUILDING SECTIONS



3 BUILDING SECTION- LONGITUDINAL LOOKING WEST
SCALE 1/8"=1'-0"

TUTTLE Residence
REMODEL/ADDITION
4302 Avenue D, Austin TX.

WoodEye
Construction and Design

1106 W. Koenig Lane
Austin, Texas 78754

07/22/2016



HISTORICAL REVIEW
07.22.2017

A11
BUILDING SECTIONS

Annotated agenda from the August 27, 2018 HLC meeting

8. LHD-2018-0021 – Offered for Consent Approval

1112 W 7th Street

Council District 9

Proposal: Construct a two-story rear addition with a side dormer, construct a basement addition, construct a new carport and relocate a salvaged window from the rear of the house to the side wall of the front porch.

Applicant: Lonanne Magnuson, Woodeye Construction

City Staff: Steve Sadowsky, Historic Preservation Office, 974-6454

Committee Recommendation: Consider the use of a hipped dormer rather than a shed dormer; otherwise, all aspects of the proposal conform to the historic district design standards.

Staff Recommendation: Approve as proposed upon completion of a photo-documentation package of existing conditions, and recommend that the applicant salvage and re-use the existing brick chimney.

MOTION: Approve item B8 on the Consent Agenda by Koch, second by Hibbs.

Vote: 6-0.